



## Home Inspection Report



**1064 Durham Court, Sunnyvale**

**Ordered by: Luciano Ercolini**  
Dalmatian Realty Of Silicon Valley  
1064 Durham Ct  
Sunnyvale, CA 94087

**Inspected by:**   
Andrew Amon  
April 11, 2024

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# Report Overview

## A GENERAL DESCRIPTION OF THE STRUCTURE

This is a one story single family dwelling. Based on the information provided, the structure was built in 1959. Ongoing maintenance is required and improvements to the systems of the home will be needed over time.

### WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

## ! - IMMEDIATE RECOMMENDED IMPROVEMENTS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported by photographs. If more than one photograph is available for a particular item, additional photographs can be found at the end of the report in the section entitled 'Photographs'. Please contact HomeGuard if you have any questions.

### Structure

1. The wall framing of the right side of the garage shows evidence of damage. We recommend the advice and services of a licensed structural pest control operator. (See Photo 15)

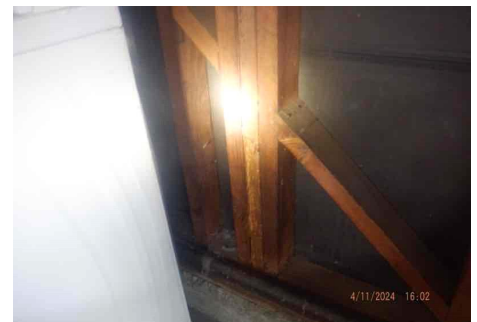


Photo 15

### Roofing

2. Leaks were noted in the downspouts and/or gutters at the seams. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 2)

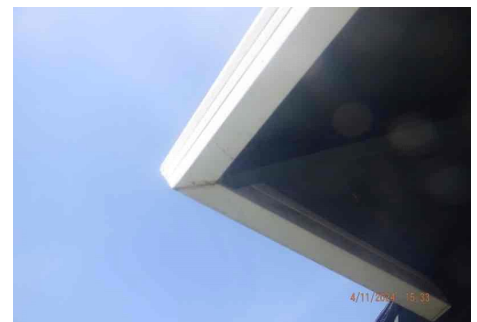


Photo 02

### Exterior

3. The cracked and heaved section of the patio presents a trip hazard. This condition should be corrected for improved safety. (See Photo 13)



Photo 13

**Exterior**

4. The garage door opener appears to be serviceable, but it is mounted in a substandard way. We recommend improving the mounting and bracing of the device to prevent damage to the mechanism and/or door. (See Photo 22)



Photo 22

5. The auto door closer between the garage and the house did not function properly. The auto closer mechanism on the passage door between the garage and the interior of the house should be adjusted or repaired to close automatically. This will reduce the potential of toxic automobile gases entering the house and serves as a fire break. (See Illustration 3F) (See Photo 23)



Photo 23

6. The cracked and heaved walkway section(s) at the front left side present a trip hazard. This condition should be corrected for improved safety. (See Photo 4)



Photo 04

7. Water damage was observed to the rafters/sheathing at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)



Photo 03

8. Water damage was observed to the rafters at the left side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 6) (See Photo 12)



Photo 06

**Exterior**

9. The door is cracked, split or damaged at the garage man door. We recommend it be repaired or replaced. (See Photo 14)



Photo 14

10. The fence is in satisfactory condition, however one or more fence posts are loose at the left side. We recommend all loose, damaged or deteriorated posts be reinforced or replaced as necessary. (See Photo 5)



Photo 05

**Electrical**

11. We found exposed wiring at the garage walls below 7' feet. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Illustration 4E) (See Photo 16)



Photo 16

12. Exposed wiring inside the kitchen island cabinet should be relocated, covered or protected by rigid conduit. (See Photo 28)



Photo 28

13. Any openings inside the main electrical panel or front cover "Dead Front" should be covered with approved filler plates or plugs. (See Illustration 4H below) (See Photo 10)



Photo 10

**Electrical**

14. Ungrounded "3-prong" outlets at the exterior and interior should be improved. A grounded cable or ground wire could be installed at these outlets, the outlet labeled as ungrounded or the original "2-prong" receptacle could be reinstalled. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 4O) (See Photo 7)



Photo 07

15. One or more outlets at the right side of the garage have reversed polarity, i.e. the hot and neutral connection inside the outlet are wired backwards. These outlets and the circuit should be investigated and corrected. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet at a later date. Repairs or rewiring are recommended at all deficient locations. (See Illustration 4M) (See Photo 20)



Photo 20

16. A ground fault circuit interrupter (GFCI) outlet at the hall bathroom did not function or did not trip when tested with an outside source and/or the test button. This outlet and circuit should be investigated and repaired. (See Photo 26)



Photo 26

17. Abandoned wiring was noted in the front of the garage. We recommend the wiring be disconnected at its source or terminated in an approved manner in a covered junction box. (See Photo 21)



Photo 21

18. The service wires should form a drip loop where they meet the service mast on the exterior of the home. This will ensure that water will drip off the wires, rather than run into the service mast. This work should be done by, or coordinated with the local utility service provider. (See illustration 4P) (See Photo 1)

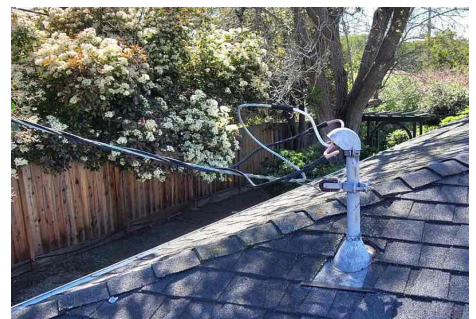


Photo 01

**Electrical**

19. The main electric panel weatherproof cover plate is loose, damaged. We recommend it be repaired or replaced. (See Photo 9)



Photo 09

20. A receptacle at the right side of the master shows signs of scorching and overheating. We recommend this receptacle and the circuit connected to it be further evaluated by a licensed electrical contractor. (See Photo 19)



Photo 19

21. The electrical system grounding wire is improperly bonded. We recommend the panel be further evaluated by a licensed electrician and repaired or replaced as necessary. (See Photo 11)

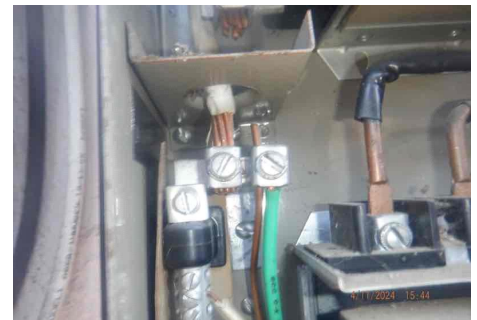


Photo 11

**Heating System**

22. We noted a flexible gas line running through the furnace metal housing. We recommend consideration be given to installing rigid piping at the penetration of the housing and the installation of flexible supply piping at the exterior of the furnace. (See Photo 24)



Photo 24

23. The heat exchanger is rusted, streaked and worn where visible from the exterior. These conditions indicate that it is at or near the end of its service life. We recommend inspections of the unit by the local utility company or a licensed heating contractor, to determine if repairs or replacement is necessary. (See Photo 25)



Photo 25

**Plumbing**

24. The drain system at the master bathroom was improperly installed. We recommend the drains be reconfigured according to industry standards. (See Photo 35)



Photo 35

25. There is an insufficient upward slope on the water heater vent ducting. This can cause inadequate draft and exhaust spillage at the draft hood. This is a potential hazardous condition and should be repaired. (See Illustration 8T) (See Photo 17)



Photo 17

26. The waste piping at the crawlspace adjacent to the bathrooms does not have sufficient slope for proper drainage. We recommend this condition be corrected. (See Photo 33)



Photo 33

27. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 18)



Photo 18

28. The drain is leaking into the crawl space under the master bathroom shower. We recommend all leaks be repaired. (See Photo 30)



Photo 30



**Interior**

29. The height the windows in the front bedrooms does not conform to proper standards for egress. We recommend contacting the local building department to confirm if this installation conforms to specifications for escape openings in bedrooms. (See Photo 27)



Photo 27

30. The power cord is not secured where it enters the bottom of the disposal and can be easily damaged. For maximum safety, we recommend the power cord be properly connected to the disposal. (See Illustration 9H) (See Photo 29)



Photo 29

31. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 39)



Photo 39

## The Scope of the Inspection

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: The inspector is NOT required to determine whether items, materials, conditions or components are subject to recall, controversy, litigation, product liability, or other adverse claims or conditions.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

PLEASE NOTE: Work performed by others will be reinspected, upon request, for an additional fee for each trip out to the property.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

Sections of this building appear to have been remodeled. We recommend consultation with the owner or local municipality to determine whether the necessary permits were obtained, inspections performed and final signatures received.

### **BINDING ARBITRATION PROVISION**

Any controversy or claim arising out of or relating to the inspection performed by HomeGuard Incorporated shall be settled by final and binding arbitration filed by the aggrieved party with and administered by the American Arbitration Association (hereafter referred to as "AAA") in accordance with its Construction Arbitration Rules in effect at the time the claim is filed. The Rules, information and forms of the AAA may be obtained and all claims shall be filed at any office of the AAA or at Corporate Headquarters, 335 Madison Avenue, Floor 10, New York, New York 10017-4605. Telephone: 212-716-5800, Fax: 212-716-5905, Website: <http://www.adr.org/>. The arbitration of all disputes shall be decided by a neutral arbitrator, and judgment on the award rendered by the arbitrator may be entered in any court having competent jurisdiction thereof. Any such arbitration will be conducted in the city nearest to the property that was inspected by HomeGuard Incorporated having an AAA regional office. Each party shall bear its own costs and expenses and an equal share of the administrative and arbitrators' fees of arbitration. This arbitration Agreement is made pursuant to a transaction involving interstate commerce, and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE THROUGH A COURT AND TO HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY AND ALL DISPUTES DECIDED THROUGH ARBITRATION. BY SIGNING THIS AGREEMENT, THE PARTIES ARE GIVING UP ANY RIGHT THEY MIGHT HAVE TO SUE EACH OTHER.

# Structure

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## ITEM DESCRIPTIONS:

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<b>Attic (Access)</b>	• Location: Hallway • Attic Method Of Inspection: Entered The Attic
<b>Roof Structure</b>	• Rafters • Plywood or Orientated Strand Board
<b>Ceiling Structure</b>	• Joist
<b>Wall Structure</b>	• Wood Frame
<b>Floor Structure</b>	• Wood Floor Beams • Plywood or Orientated Strand Board • Board and Plank Subfloor
<b>Crawlspace/Basement (Access)</b>	• Location: Closet
<b>Foundation</b>	• Poured Concrete Perimeter

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## COMMENTS:

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The sill appeared to be adequately secured (anchor bolts or straps) to the foundation, unless noted otherwise.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The wall framing of the right side of the garage shows evidence of damage. We recommend the advice and services of a licensed structural pest control operator. (See Photo 15)
2. Water stains were evident in the attic and/or garage at the time of inspection. It is unknown whether these stains are from a past or present leak. We recommend consulting the home owner for further information in regards to past or present repairs to the roof.
3. Minor cracks were observed in the foundation walls of the structure. Smaller foundation cracks are not uncommon and often indicate some settlement and/or movement may have occurred.
4. The garage floor slab has typical cracks. This is usually the result of shrinkage and/or settling of the slab. No further recommendations are given.
5. The floor members show evidence of water stains under the bathrooms and/or kitchen area. The area is now dry and the stains appear to be from past leaks. We recommend periodic inspection of this area for evidence of active leakage and repairs if necessary.

## LIMITATIONS:

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This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- Insulation within the roof attic cavity obstructed the view of some structural members, plumbing and electrical components.

# Roofing

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## ITEM DESCRIPTIONS:

Roof	• Composition shingle • Method of inspection: From the UAV
Chimney	• Masonry • Lined • Method of inspection: From the UAV
Gutters and Downspouts	• Metal • Installation Of Gutters/Downspouts: Full • Downspouts Discharge Location: Above Grade

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## COMMENTS:

We recommend reviewing a roof inspection report performed by a licensed roof inspector on this structure.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Leaks were noted in the downspouts and/or gutters at the seams. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 2)
2. Minor typical cracking was noted in the masonry chimney. In our opinion, these are cosmetic items, but we recommend the advice and servicing of a licensed masonry contractor or fireplace specialist.
3. Debris was noted on the roof covering. We recommend removing all debris to avoid creating water traps and to assist in the shedding of water from the roof.
4. The cap of the masonry chimney has minor cracking visible which can be patched during regular household maintenance. (See Illustration 2C)
5. Due to the height of the chimney and/or presence of a spark arrestor which was not removed during our examination, the interior of the chimney was not inspected. We recommend the advice and servicing of a licensed masonry contractor or fireplace specialist.
6. Debris was noted inside the gutters. We recommend the downspouts and gutters be cleaned out.
7. The downspouts discharge water adjacent to the structure. Water should be directed to flow at least 5 feet away from the building at the point of discharge. The installation of underground drainage where applicable will help control surface drainage.
8. The chimney cleanout/inspection cover was noted to be partially buried. We recommend it be corrected,
9. The mortar between the chimney bricks has become cracked or soft with age and moisture penetration. The standard repair is to re-point the brickwork by scraping out the old mortar and replacing it with new. We recommend the advice of a licensed masonry contractor.

## LIMITATIONS:

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

- We did not go on the surface of the roof. The chimney was inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.
- We did not go on the surface of the roof. The roof was inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.

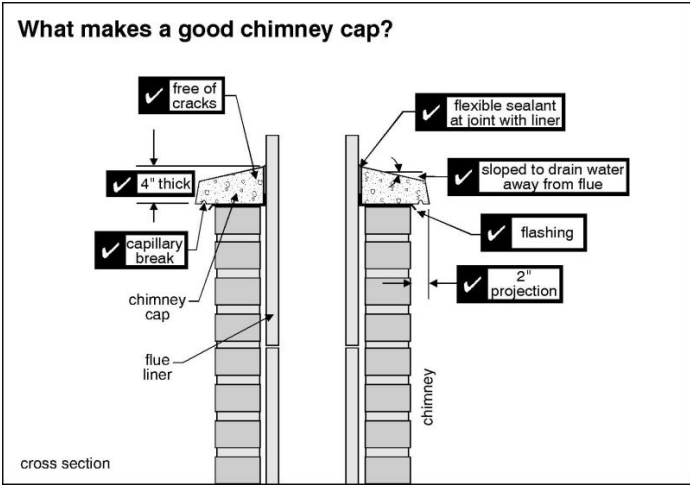


Illustration 2C

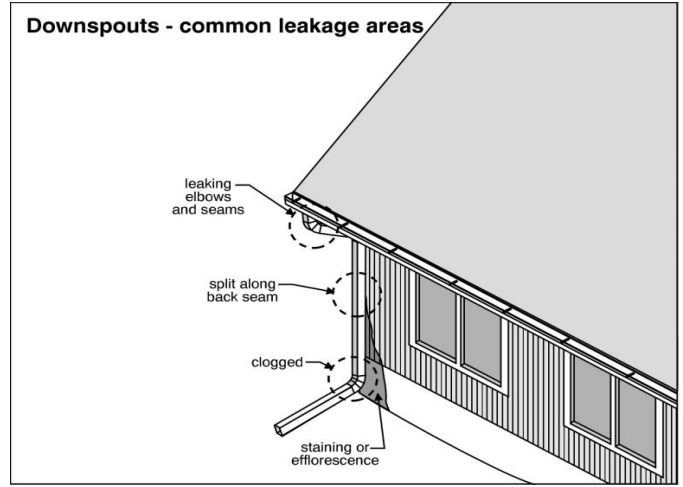


Illustration 2D

## Exterior

### ITEM DESCRIPTIONS:

Lot Topography	• Level grade
Walkway & Sidewalks	• Concrete • Gravel
Retaining Walls/Abutments	• Decorative Brick Planters
Fencing/Gates	• Wood
Porch/Deck, Patio Covers	• Wood • Brick • Concrete
Stairs/Railings/Landings	• None
Exterior Walls	• Wood Siding • Brick Veneer
Fascia, Eaves and Rafters	• Wood • Open Rafters
Windows	• Vinyl
Doors	• Wood • Sliding Glass
Garage/Carport	• Attached
Garage Door	• Metal • Automatic Opener Installed
The Swimming Pool Safety Act	• Not Applicable

### COMMENTS:

The auto reverse mechanism on the overhead garage door responded properly to testing. This is an important safety feature that should be tested regularly. Refer to the owner's manual or contact the manufacturer for more information. There is a serious risk of injury, particularly to children, if this feature is not working properly. Information on garage door openers is available from the Consumer Product Safety Commission at [www.cpsc.gov](http://www.cpsc.gov).

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. The cracked and heaved section of the patio presents a trip hazard. This condition should be corrected for improved safety. (See Photo 13)
- ! 2. The garage door opener appears to be serviceable, but it is mounted in a substandard way. We recommend improving the mounting and bracing of the device to prevent damage to the mechanism and/or door. (See Photo 22)
- ! 3. The auto door closer between the garage and the house did not function properly. The auto closer mechanism on the passage door between the garage and the interior of the house should be adjusted or repaired to close automatically. This will reduce the potential of toxic automobile gases entering the house and serves as a fire break. (See Illustration 3F) (See Photo 23)
- ! 4. The cracked and heaved walkway section(s) at the front left side present a trip hazard. This condition should be corrected for improved safety. (See Photo 4)
- ! 5. Water damage was observed to the rafters/sheathing at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 3)
- ! 6. Water damage was observed to the rafters at the left side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 6) (See Photo 12)
- ! 7. The door is cracked, split or damaged at the garage man door. We recommend it be repaired or replaced. (See Photo 14)
- ! 8. The fence is in satisfactory condition, however one or more fence posts are loose at the left side. We recommend all loose, damaged or deteriorated posts be reinforced or replaced as necessary. (See Photo 5)
9. The tree proximity at the rear could disrupt drainage pipes, cause mechanical damage to the exterior of the house or influence the foundation over time. For additional information and recommendations we recommend appropriate trades be consulted. (See Illustration 3T)
10. The gaps in the exterior trim/siding should be caulked as necessary.
11. There are minor sized cracks in the exterior stucco that should be patched and sealed as part of preparation for the next painting. Flexible patching materials are recommended rather than rigid patching compounds.
12. There are some larger than normal sized cracks in the driveway. The cracks could be sealed for a better appearance and to prevent moisture intrusion.
13. Portions of the exterior are weathered/peeling, exposed and subject to damage. We recommend thorough scraping, sanding, caulking and priming prior to applications of a high quality exterior finish.

- 14. Portions of the exterior left side door finish is worn and/or peeling. We recommend thorough scraping, sanding, caulking and priming prior to applications of a high quality exterior finish on the door as regular household maintenance.
- 15. The wood fencing at the rear right side of the property is in need of repairs.

**MAINTENANCE ITEMS & GENERAL INFORMATION**

- 16. This home was constructed without the use of a weep screed at the base of the stucco. Although this was an accepted construction method it can allow condensation to build up and not drain properly. For further information we recommend appropriate trades be consulted.

**LIMITATIONS:**

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.
- Interior finishes and/or cabinets restricted the inspection of the garage.
- The detached deck were not inspected and are excluded from this report.

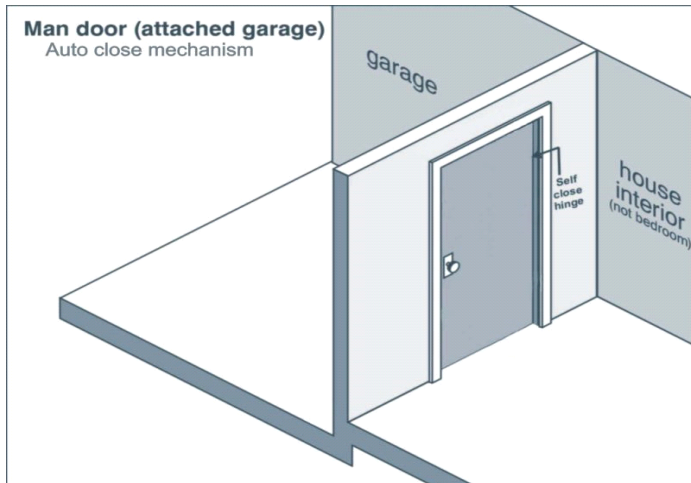


Illustration 3F

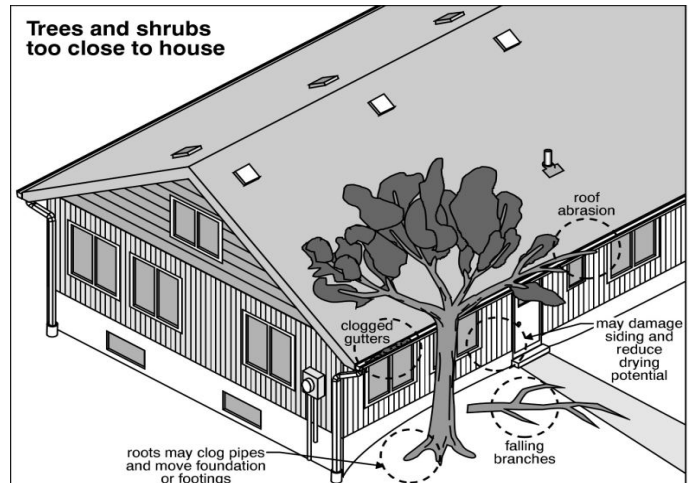


Illustration 3T

# Electrical

## ITEM DESCRIPTIONS:

Service	• 120/240 volt main service
Service Entrance	• Overhead Service Wires
Service Ground	• Copper Ground Wire • Water Pipe Connections
Main Disconnect	• Breakers • Main Service Rating: 100 Amps
Main Distribution Panel	• Breakers • Location: Exterior Side • Panel Rating (Amps): 100
Branch/Auxiliary Panel	• Breakers • Location: Garage • Panel Rating (Amps): 60
Distribution Wiring	• Copper Wire
Outlets, Switches & Lights	• Grounded/Ungrounded
Ground Fault Circuit Interrupters	• Bathroom • Garage • Kitchen • Bedrooms • Living Rooms

## COMMENTS:

Evidence of remodeling or modifications to the electrical system were evident. Inquire with the owner as to their nature and any permits that may have been required. Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

Dedicated 240 volt circuits have been provided for all 240 volt appliances within the home.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. Loose wiring in the crawlspace should be corrected by securing it to the framing. (See Photo 32)
- ! 2. We found exposed wiring at the garage walls below 7' feet. Even if insulated, we recommend all wiring be encased in conduit or otherwise protected in accordance with present standards. (See Illustration 4E) (See Photo 16)
- ! 3. Any openings inside the main electrical panel or front cover "Dead Front" should be covered with approved filler plates or plugs. (See Illustration 4H below) (See Photo 10)
- ! 4. Ungrounded "3-prong" outlets at the exterior and interior should be improved. A grounded cable or ground wire could be installed at these outlets, the outlet labeled as ungrounded or the original "2-prong" receptacle could be reinstalled. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet. Repairs or rewiring are recommended at all deficient locations. For additional information we recommend a licensed electrician be consulted. (See Illustration 4O) (See Photo 7)
- ! 5. One or more outlets at the right side of the garage have reversed polarity, i.e. the hot and neutral connection inside the outlet are wired backwards. These outlets and the circuit should be investigated and corrected. Based upon our inspection of a representative number of outlets, we recommend testing of every outlet at a later date. Repairs or rewiring are recommended at all deficient locations. (See Illustration 4M) (See Photo 20)
- ! 6. Abandoned wiring was noted in the front of the garage. We recommend the wiring be disconnected at its source or terminated in an approved manner in a covered junction box. (See Photo 21)
- ! 7. The service wires should form a drip loop where they meet the service mast on the exterior of the home. This will ensure that water will drip off the wires, rather than run into the service mast. This work should be done by, or coordinated with the local utility service provider. (See illustration 4P) (See Photo 1)
- ! 8. The main electric panel weatherproof cover plate is loose, damaged. We recommend it be repaired or replaced. (See Photo 9)
- ! 9. A receptacle at the right side of the master shows signs of scorching and overheating. We recommend this receptacle and the circuit connected to it be further evaluated by a licensed electrical contractor. (See Photo 19)
10. We have observed a "Zinsco/Sylvania" main electrical service panel(s) on the property. This type of panel has a history of circuit breakers failing to trip or overheating in response to an over current or short circuit. Failure of a circuit breaker to trip does not afford the protection that is intended and required. These brands have been obsolete for decades, and are a safety hazard. We recommend a licensed electrician be retained for additional information and recommendations. An electrician is likely to recommend full replacement of the panel. (See Photo 8)
- ! 11. The electrical system grounding wire is improperly bonded. We recommend the panel be further evaluated by a licensed electrician and repaired or replaced as necessary. (See Photo 11)
12. The water heater cold and hot water lines do not appear to be bonded to the gas lines. The local building department may presently require that the lines be bonded. We recommend consulting the local building authority regarding this condition.



13. Cable clamps sometimes referred to as bushings or grommets are required where wiring passes into the electrical main. Cable clamps serve to protect the wiring from the metal edges of the panel openings. (See Illustration 4W)
14. The main and/or branch electrical panel is crowded with wiring. A larger panel would be desirable, especially if future remodeling or upgrades are considered.
15. Tree limbs should be cut back from the electrical service entrance wires. This work should be done by or coordinated with the utility provider.
16. The circuitry in the main panel is not completely labeled. We recommend this be corrected to allow individuals unfamiliar with the equipment to operate it properly when and if necessary.
- ! 17. Exposed wiring inside the kitchen island cabinet should be relocated, covered or protected by rigid conduit. (See Photo 28)
- ! 18. A ground fault circuit interrupter (GFCI) outlet at the hall bathroom did not function or did not trip when tested with an outside source and/or the test button. This outlet and circuit should be investigated and repaired. (See Photo 26)

#### **DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES**

19. Today's electrical standard now requires a device called an arc-fault circuit interrupter "AFCI". As defined in proposals for the 1999 NEC, an "AFCI" is a device that provides protection from effects of arc faults by recognizing characteristics unique to arcing, and then de-energizing the circuit upon detection of an arc fault. Its basic application is protection of 15 amp and 20 amp branch circuits in single and multi-family residential occupancies. These devices are now installed in the habitable bedrooms of new construction.
20. The installation of ground fault circuit interrupter "GFCI" devices is advisable on exterior, garage, bathroom, laundry, and some kitchen outlets. Any whirlpool or swimming pool equipment should also be fitted with "GFCI"s. A ground fault circuit interrupter "GFCI" offers protection from shock or electrocution. Please note that "GFCI" may already be in one or more of these areas. See "description" section above for exact location of any "GFCI" which may be present on this property. (See Illustration 4L)

#### **LIMITATIONS:**

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.
- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage may have restricted access to some electrical components.
- Exterior light fixtures on motion or light sensors were not tested.
- One or more added recessed light fixtures appear to have been installed in the ceiling as noted from the attic. Some recessed light fixtures require a certain amount of clearance between the insulation and the metal fixtures, however due to inaccessibility, clearance issues or time limitations we were unable to fully evaluate every light fixture. For additional information we recommend further evaluation of the fixtures by a licensed electrical contractor.

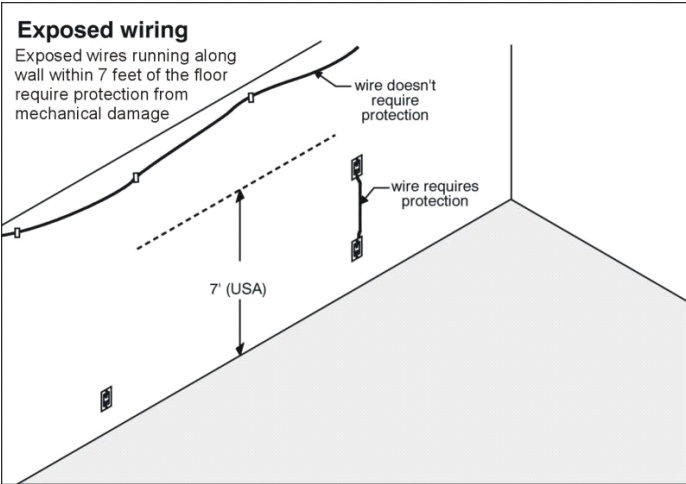


Illustration 4E

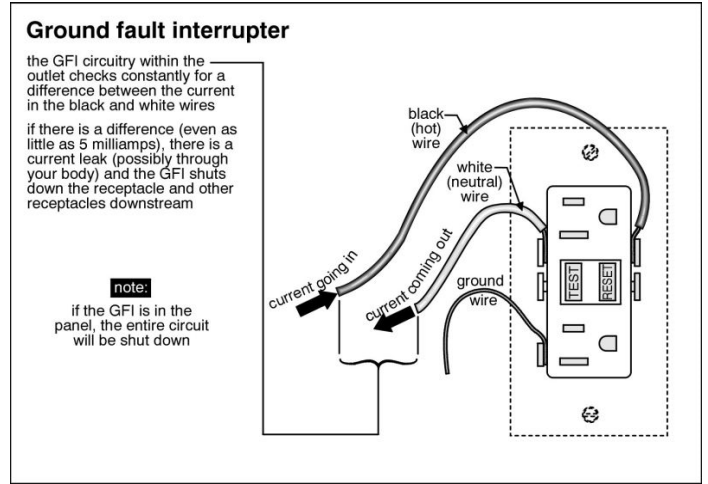


Illustration 4L

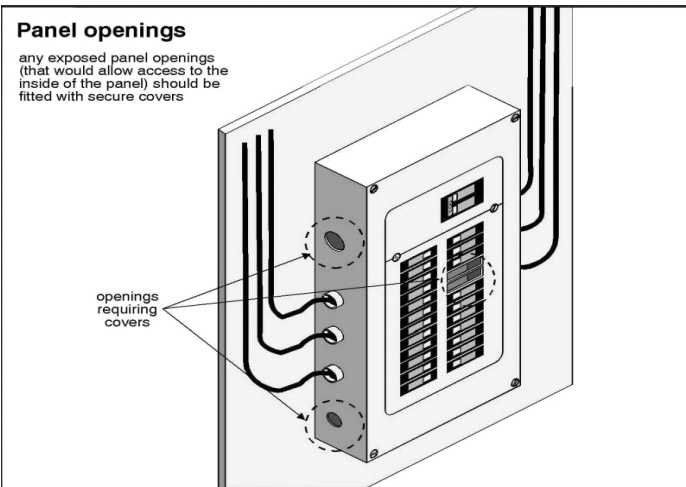


Illustration 4H

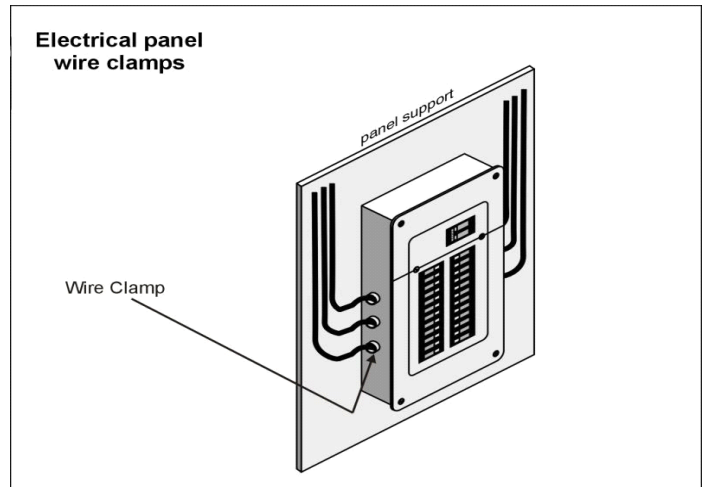


Illustration 4W

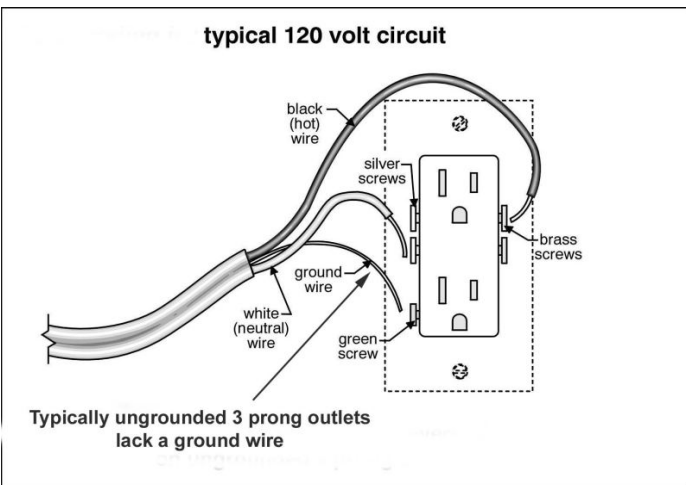


Illustration 4O

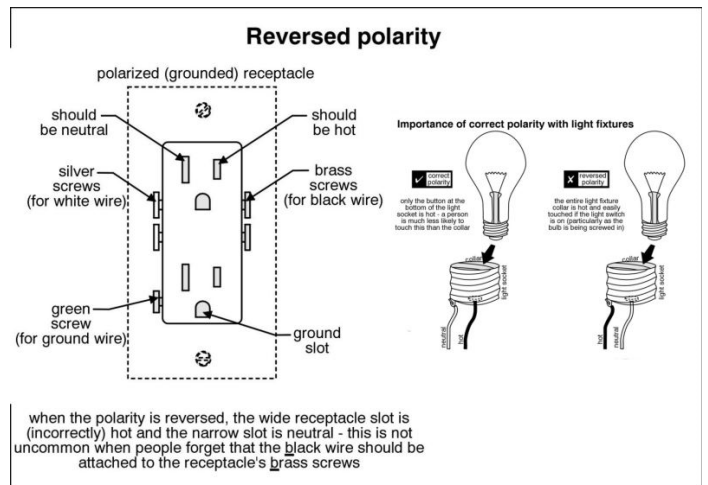


Illustration 4M

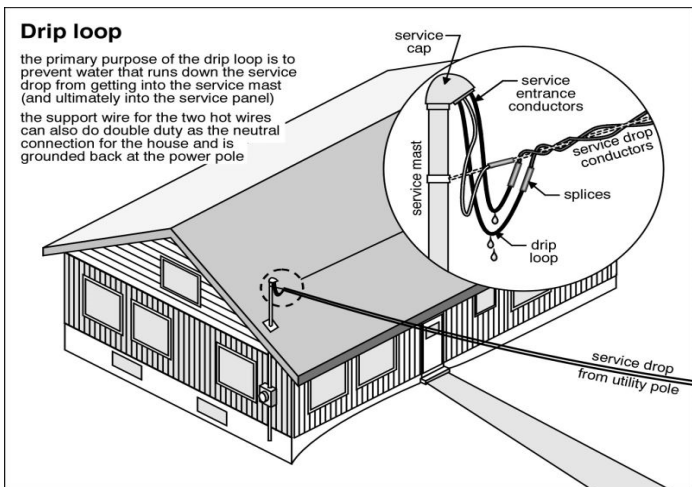


illustration 4P

# Heating System

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## ITEM DESCRIPTIONS:

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Primary Source Heat	• Gas
Heating System	• Forced Air • Manufacturer: Carrier • Location: Closet
Distribution/Ducting	• Ductwork

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## COMMENTS:

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We recommend a licensed HVAC contractor be retained for further evaluation of the heating unit.

The typical life cycle for a heating unit such as this is 20-25 years. The heating system is older and may be approaching the end of its life cycle. Some units will last longer; others can fail prematurely. Please be aware that shutting the gas off to this unit for any reason could cause the heat exchanger to contract and crack.

The furnace was turned on by normal controls and appeared to function.

## RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. We noted a flexible gas line running through the furnace metal housing. We recommend consideration be given to installing rigid piping at the penetration of the housing and the installation of flexible supply piping at the exterior of the furnace. (See Photo 24)
- ! 2. The heat exchanger is rusted, streaked and worn where visible from the exterior. These conditions indicate that it is at or near the end of its service life. We recommend inspections of the unit by the local utility company or a licensed heating contractor, to determine if repairs or replacement is necessary. (See Photo 25)
- 3. The air return for the heating duct is dirty. We recommend the air return grill be cleaned prior to use.
- 4. The heating system air filter is dirty. We recommend it be serviced or replaced.

## MAINTENANCE ITEMS & GENERAL INFORMATION

- 5. This home is heated with a low efficiency forced air furnace. In this type of furnace, air is circulated through a heat exchanger, which is heated by the burner unit at the base. Exhaust is drafted naturally, and burners have a standing pilot light. This type of furnace wastes more energy than modern furnaces and should be considered for replacement in the near future,

## DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

- 6. When furnace replacement is performed, consideration should be given to installing a "high efficiency" system.

## LIMITATIONS:

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This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- As per ASHI standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.
- Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.
- As per ASHI standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- Inspection of the heater and/or air conditioner thermostat is limited to operating the unit(s) on and off function only. Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

# Cooling/Heat Pump System

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## ITEM DESCRIPTIONS:

Cooling System • Wall Unit (Not Inspected) • Location: Master Bedroom

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## COMMENTS:

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## LIMITATIONS:

This is a visual inspection to the accessible areas only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time.

## Insulation/Ventilation

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### ITEM DESCRIPTIONS:

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Attic/Roof Insulation	• Cellulose • Depth (inches): 4
Exterior Walls Insulation	• Unknown
Crawlspace Insulation	• None
Attic/Roof Ventilation	• Roof Vents • Soffit vents
Crawlspace Ventilation	• Exterior wall vent(s)

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### COMMENTS:

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#### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. Attic insulation improvements are recommended. This should help to reduce heating costs and help keep the home cooler during warm weather.

### LIMITATIONS:

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This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is beyond the scope of this inspection.
- Any estimates of insulation "R" values or depths are rough average values.

# Plumbing

## ITEM DESCRIPTIONS:

<b>Main Water Valve</b>	• Location: Exterior Front
<b>Supply Piping</b>	• Galvanized
<b>Drain/Waste/Vent</b>	• Plastic Material • Metallic Material
<b>Cleanout</b>	• Location: Crawl Space • Location: Exterior
<b>Main Gas Valve</b>	• Location: Exterior Side
<b>Water Heaters</b>	• Manufacturer: Rheem • Capacity: 50 Gallons • Approximate Age (years): 3 • Gas • Location: Garage
<b>Seismic Gas Shut-off</b>	• Not Present
<b>Excess Flow Gas Shut-off</b>	• Not Present

## COMMENTS:

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The metallic drain piping may be nearing the end of its effective service life. Older piping is subject to corrosion on the interior and/or exterior which may result in clogging and eventual leakage. We recommend the piping be further evaluated by a licensed plumbing contractor to determine if replacement or repair is necessary. (See Photo 31)
- ! 2. There is an insufficient upward slope on the water heater vent ducting. This can cause inadequate draft and exhaust spillage at the draft hood. This is a potential hazardous condition and should be repaired. (See Illustration 8T) (See Photo 17)
- ! 3. The temperature and pressure relief discharge pipe for the water heater is improper. We recommend the installation of a proper discharge pipe to an approved location. (See Photo 18)
4. There is evidence of heavy corrosion and rust, but no leakage on the exposed and accessible metal drain piping at the crawl space. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should be considered. (See Photo 37) (See Photo 36)
5. There is evidence of heavy corrosion and rust, but no leakage on the exterior of the exposed and accessible metal supply piping at the exterior rear right side. This piping should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should also be considered.
6. There is evidence of a past leaks and corrosion but presently no active leakage on the exterior of the kitchen cabinets drain lines. This area should be monitored for leakage and repaired as necessary. Upgrading this piping and connections should be considered. The drain piping at the kitchen does not have sufficient slope for proper drainage. We recommend this condition be corrected.
- ! 7. The drain system at the master bathroom was improperly installed. We recommend the drains be reconfigured according to industry standards. (See Photo 35)
- ! 8. The waste piping at the crawlspace adjacent to the bathrooms does not have sufficient slope for proper drainage. We recommend this condition be corrected. (See Photo 33)
9. Improper materials and/or repairs were noted to the plumbing at the master bathroom shower. These repairs are not likely to last or be effective. The non-conforming material and/or repairs should be corrected. (See Photo 34)
- ! 10. The drain is leaking into the crawl space under the master bathroom shower. We recommend all leaks be repaired. (See Photo 30)
11. The tub or shower faucet diverter valve mechanism is worn at the hall bathroom. We recommend repair or replacement of the diverter valve mechanism.

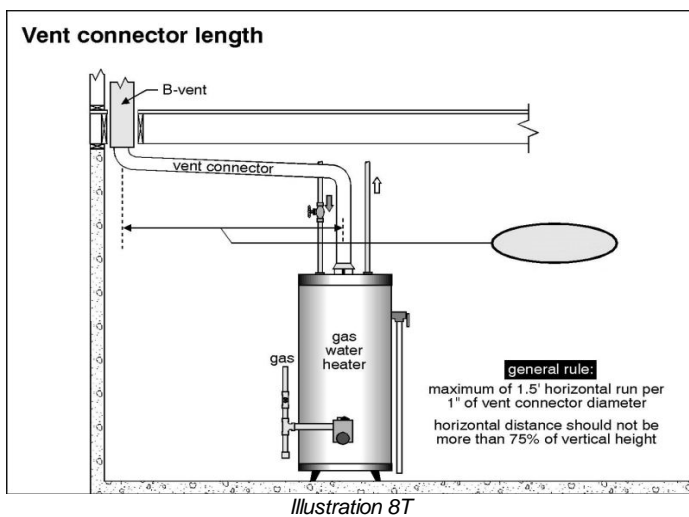
### DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

12. There was no insulation or void noted at the main water supply piping where it exits through the concrete walk/patio surface. Pipe insulation and voids provides a space for expansion and contraction, it also protects the piping from damage caused by movement of the concrete surface. We recommend this area be monitored and/or improved should problems present themselves.

## LIMITATIONS:

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

- Water and gas shut-off valves, including but not limited to seismic, excess flow shut-off valves and gas fireplace valves where applicable, were not operated or tested. Identification of these devices is limited to the accessible areas only.
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.
- Water quantity and quality are not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).
- The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- HomeGuard Incorporated does not determine if any fixtures or toilets are water conserving.





# Interior

## ITEM DESCRIPTIONS:

<b>Kitchen Appliances Tested</b>	• Gas Range • Built in Electric Oven • Microwave • Dishwasher • Waste Disposer • Exhaust Hood
<b>Wall Finishes</b>	• Drywall/Plaster
<b>Ceiling Finishes</b>	• Drywall/Plaster
<b>Floors</b>	• Tile/Stone • Wood • Laminate Flooring
<b>Doors</b>	• Hollow Core
<b>Window Style and Glazing</b>	• Single Hung • Fixed Pane • Single Pane (Garage) • Double Pane
<b>Stairs/Railings</b>	• Not Present
<b>Fireplace/Wood Stove</b>	• Masonry Fire Box
<b>Cabinets/Countertops</b>	• Wood • Tile • Solid Surface
<b>Laundry Facilities/Hookup</b>	• 240 Volt Circuit for Dryer • 120 Volt Circuit for Washer • Hot and Cold Water Supply for Washer • Laundry Sink drain for Washer • Dryer vent noted
<b>Other Components Inspected</b>	• Smoke Detector • Door Bell • Carbon Monoxide Detector

## COMMENTS:

### RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item. INTERIOR

- ! 1. The height the windows in the front bedrooms does not conform to proper standards for egress. We recommend contacting the local building department to confirm if this installation conforms to specifications for escape openings in bedrooms. (See Photo 27)
- ! 2. The power cord is not secured where it enters the bottom of the disposal and can be easily damaged. For maximum safety, we recommend the power cord be properly connected to the disposal. (See Illustration 9H) (See Photo 29)
- ! 3. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 39)
4. The fireplace chimney should be cleaned and inspected prior to the close of escrow. (See Illustration 9J)
5. The waste disposer responded to normal operator controls, however, was unusually noisy. The unit may be nearing the end of its useful service life. For attention to the conditions noted and/or cost estimates, if necessary, we recommend the advice of a qualified appliance technician.
6. Minor cracks and/or erosion of the rear wall of the fireplace are normal and should not be of a concern in the immediate future unless or until the bricks become deeply eroded or loose.
7. The exterior dryer hood/cap is damaged, missing or improper. We recommend the hood/cap be repaired or replaced with a new hooded damper at the termination of the dryer vent. (See Illustration 9A)

### KITCHEN

8. Cracked, deteriorated and/or missing caulk and grout at the kitchen tile countertop and/or backsplash should be replaced. A flexible caulking material is recommended.
9. The dishwasher is not properly secured to the cabinet. We recommend it be attached according to the manufacture's installation instructions.
10. The kitchen exhaust hood is dirty or greasy. We recommend it be cleaned and serviced.

### BATHROOMS

11. The tile floor surface at the master bathroom is cracked and/or chipped. This is a cosmetic issue and repairs may be optional.
12. Cracked, deteriorated and/or missing grout and caulk in the hall bathroom shower should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
13. The window and sill of the master and hall shower enclosures should be protected from moisture. Windows in bathtub/shower enclosures have a reputation for allowing leakage behind the walls, causing water damage. Damage caused by water seepage cannot be determined by this visual observation.

14. The window at the hall bathroom wall exhibits conditions and/or symptoms that indicate a possible breached seal or failed thermal pane. This has or can result in condensation and/or moisture developing between the panes of glass that will effect the cosmetic appearance of the windows and their insulating performance. We recommend all insulated glass units be further evaluated by a licensed glazier and repaired or replaced as required.

#### **MAINTENANCE ITEMS & GENERAL INFORMATION**

##### **INTERIOR**

##### **15. ENVIRONMENTAL ISSUES:**

Issues Based on the age of this home, there is a possibility the structure may contain asbestos such as ceiling texture, insulation on the distribution piping and/or transit piping and siding. This can only be verified by laboratory analysis. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" damaged, crumbling, or in any state that allows the release of fibers. If replacement necessitates the removal of the acoustic ceiling or insulation, a specialist should be engaged. If any sections of this insulation are indeed friable, or become friable over time, a specialist should be engaged. Further guidance is available from the Environmental Protection Agency (E.P.A.). Due to the age of construction, it is likely that there are other materials within the home that contain asbestos but are not identified by this inspection report.

16. The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture developing between the panes of glass. Due to the known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time.

##### **KITCHEN**

17. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission CPSC at [www.cpsc.gov](http://www.cpsc.gov) for further guidance.

#### **LIMITATIONS:**

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. Due to texturing and painting of interior surfaces there is no possible way of determining point of origin of any gypsum (sheetrock) material without destructive testing. HomeGuard Incorporated does not perform any destructive testing. Smoke detectors and carbon monoxide detectors were not manually tested. The sensors of these units are not tested. Both smoke detectors and carbon monoxide detectors have a limited life span and should be replaced according to the manufactures instructions.

- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- The above listed kitchen appliances were operated unless noted otherwise. These appliances were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation. No refrigerators whether "built in" or portable are operated, inspected or tested.
- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report. No refrigerators whether "built in" or portable are operated, inspected or tested.
- Fireplace screens or doors were not inspected (unless otherwise noted) and are excluded from this report.
- The interior appears to have been recently painted. Water stains and/or cracks may not be visible at the time of our inspection. If, at a later date, water stains and/or cracks are discovered, we recommend further inspection by the appropriate trades.
- Testing of the oven cleaning function is beyond the scope of this inspection. For proper operation and testing of this function we recommend consultation with the existing homeowner.

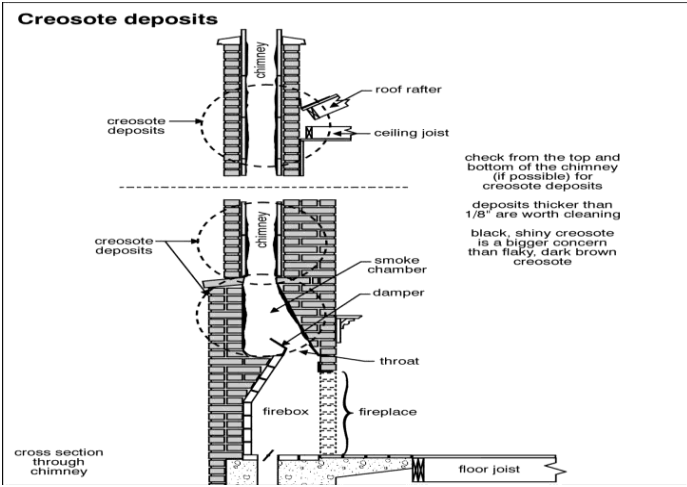


Illustration 9J

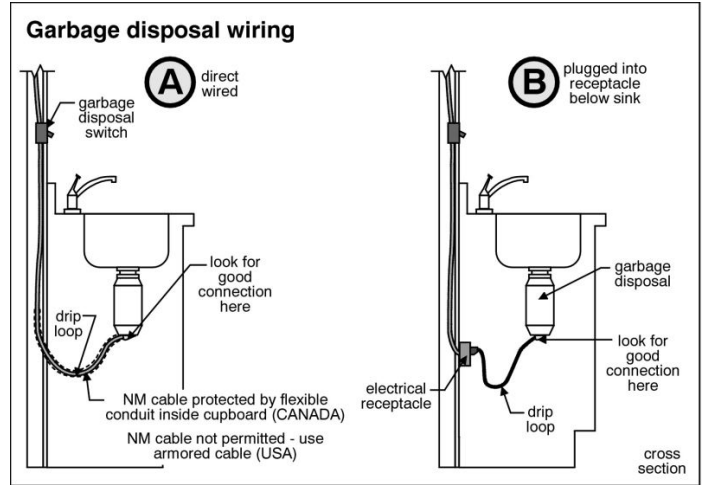


Illustration 9H



Illustration 9A

# Photographs

**No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported with photographs. Please contact HomeGuard if you have any questions.**



Photo 01



Photo 02



Photo 03



Photo 04



Photo 05



Photo 06



Photo 07



Photo 08



Photo 09



Photo 10

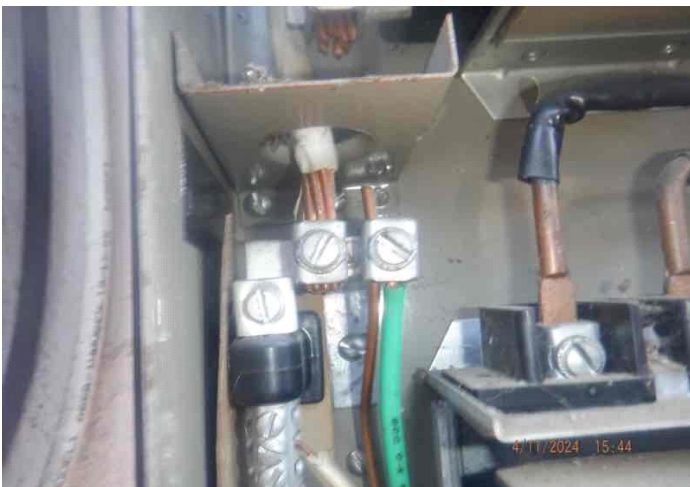


Photo 11



Photo 12



Photo 13

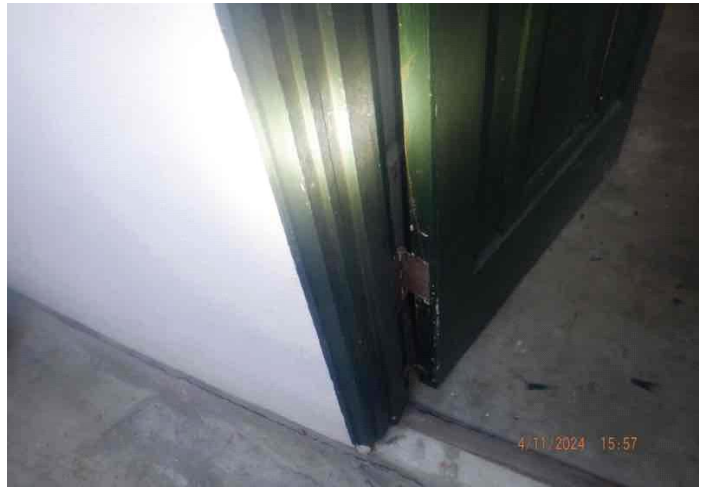


Photo 14

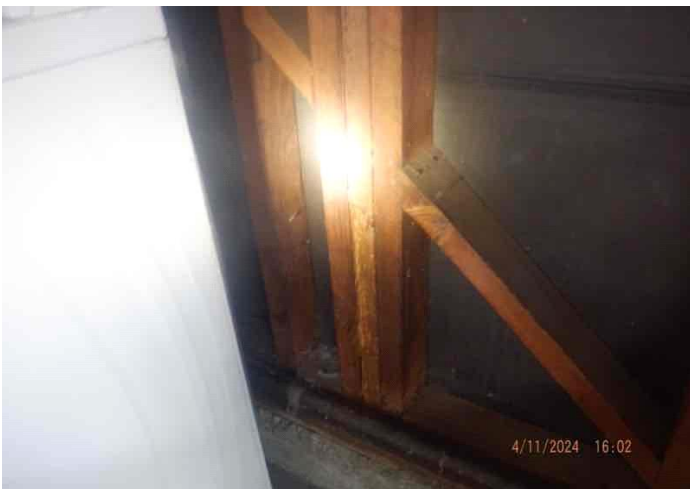


Photo 15



Photo 16



Photo 17



Photo 18



Photo 19



Photo 20



Photo 21



Photo 22



Photo 23



Photo 24



Photo 25



Photo 26



Photo 27



Photo 28



Photo 29



Photo 30





Photo 31



Photo 32



Photo 33



Photo 34



Photo 35



Photo 36



Photo 37



Photo 38



Photo 39

# Maintenance Advice

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## UPON TAKING OWNERSHIP

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After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- Change the locks on all exterior entrances, for improved security.
- Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- Install rain caps and vermin screens on all chimney flues, as necessary.
- Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

## REGULAR MAINTENANCE

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### EVERY MONTH

- Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- Examine heating/cooling air filters and replace or clean as necessary.
- Inspect and clean humidifiers and electronic air cleaners.
- If the house has hot water heating, bleed radiator valves.
- Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- Repair or replace leaking faucets or shower heads.
- Secure loose toilets, or repair flush mechanisms that become troublesome.

### SPRING AND FALL

- Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- Survey the basement and/or crawl space walls for evidence of moisture seepage.
- Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- Ensure that the grade of the land around the house encourages water to flow away from the foundation.

- Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- Replace or clean exhaust hood filters.
- Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

**ANNUALLY**

- Replace smoke detector batteries.
- Have the heating, cooling and water heater systems cleaned and serviced.
- Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

**PREVENTION IS THE BEST APPROACH**

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Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



Invoice Date: 4/11/2024

Invoice No: LIV1073770P

## Invoice

### Bill To:

Melissa Palafox  
Chicago Title  
20100 Stevens Creek Blvd. #100  
Cupertino, CA 95014

### Property Information:

Address: 1064 Durham Court  
Sunnyvale CA, 94087  
Report No: 632976 TPR  
Escrow#: 2984240231

### Billing Information:

Inspection: 4/11/2024 Complete	\$835.00
Total Due:	\$835.00

**DUE UPON RECEIPT**

Please remit to 510 Madera Ave., San Jose, CA 95112

*There is a \$25 fee for all returned checks*